



SETBACK SUMMARY

PLANNING DIVISION



What Is A Setback?

For the purposes of this document, a setback is the distance from a property line within which construction of new, permanent structures are limited or prohibited.

What Are My Setbacks?

For new Accessory Dwelling Units (ADU)

(self-contained living units containing a kitchen, bathroom, and place to sleep)

- The height of an accessory dwelling unit cannot exceed **16 feet**.
- The minimum interior side and rear yard setbacks may be reduced to **4 feet** (per California State Mandate) for an accessory dwelling unit if it is set back from the front or secondary front property line at least:

ZONING DISTRICT	Primary Front Yard Setback	Secondary Front Yard Setback (Corner Lots Only)
R-6, R-7, R-10, R-12, R-15 Districts	20 feet	15 feet
R-20, R-40, R-65 Districts	25 feet	20 feet
R-100 Districts	30 feet	25 feet

- If an ADU is constructed in the same location (and same dimensions) as an existing non-conforming structure, it does not have to comply with the rear and side yard setbacks.

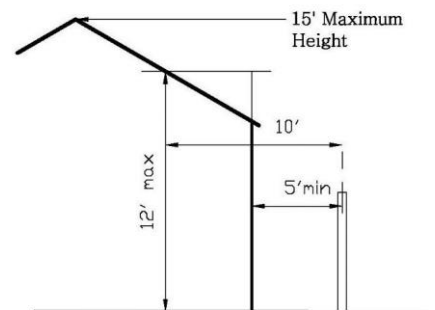
For Accessory Structures

(detached structures including sheds, garages, gazebos, etc., not a self-contained living unit)

- The height of an accessory structure cannot exceed 15 feet.
- The minimum interior side and rear yard setbacks may be reduced to **5 feet** for an accessory structure if it is set back from the front or secondary front property line at least:

ZONING DISTRICT	Primary Front Yard Setback	Secondary Front Yard Setback (Corner Lots Only)
R-6, R-7, R-10 Districts	50 feet	25 feet
R-12, R-15, R-20 Districts	65 feet	30 feet
R-40, R-65, R-100 Districts	75 feet	35 feet

- If utilizing the reduced 5-foot side and rear property line setback, the structure must meet the following requirements:
 - If the eave overhang is greater than 6 inches, the 5-foot setback is measured from the property line to the exterior face of the eave, not the exterior wall.
 - If the eave overhang is 6 inches or less, the 5-foot setback is measured from the property line to the exterior wall. (See Example)
 - No part of the structure shall be greater than 12 feet high within 10 feet from the side and rear property lines.



For Arbors and Patio Shade Structures:

- Arbors and patio shade structures that are attached to or abut the primary residence (within two feet), are open on at least three sides, and are constructed without a solid roofing material, shall maintain a minimum 10 foot side and rear yard setback, or the structure setback of the primary home, whichever is less.
- Arbors and patio shade structures that are attached to or abut the primary residence (within two feet), have a solid roof material or are not open on at least three sides shall meet the minimum required structure setbacks of the primary structure.
- Arbors and patio shade structures that are not attached to or abut the primary residence (within two feet) shall maintain a minimum 6 foot separation from the primary residence. Such structures shall comply with the setback and height requirements for accessory structures.

For the Primary Residence:

Zoning District	Primary Front Yard Setback	Secondary Front Yard Setback Corner Lots Only	Side Yard Setback	Rear Yard Setback
R-6	20 feet	15 feet	5' Min. 15' Total	20 feet
R-7	20 feet	15 feet	5' Min. 15' Total	20 feet
R-10	20 feet	15 feet	10' Min. 20' Total	25 feet
R-12	20 feet	15 feet	10' Min. 25' Total	25 feet
R-15	20 feet	15 feet	10' Min. 25' Total	25 feet
R-20	25 feet	20 feet	15' Min. 35' Total	30 feet
R-40	25 feet	20 feet	20' Min. 40' Total	30 feet
R-65	25 feet	20 feet	20' Min. 40' Total	30 feet
R-100	30 feet	25 feet	30' Min. 60' Total	30 feet

Maximum Building Height: 35' or 2.5 Stories. Homes located within a Town-identified Scenic Hillside/Major Ridgeline Area may be subject to a 28' or 24' height limit.

Please contact our Planning Division at (925) 314-3310 with any additional questions about setbacks.